

BUILDING 1020

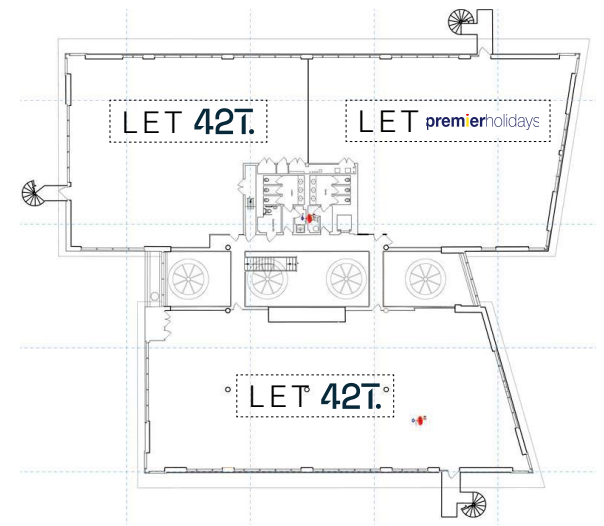
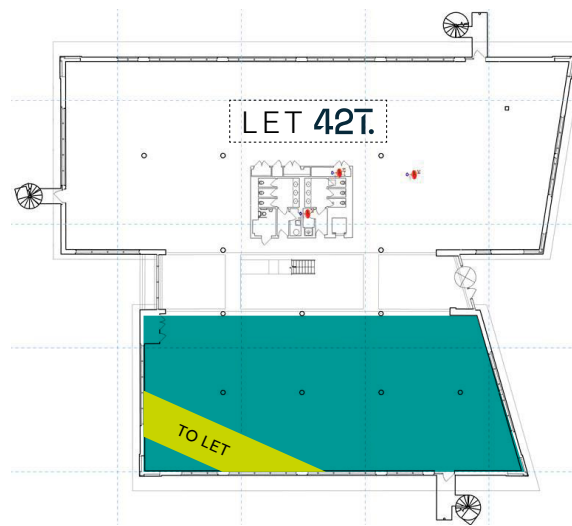
5,316 sq ft of Grade A office space available on ground floor



SPECIFICATIONS

- Air conditioning throughout
- Suspended ceiling with recessed lighting
- 150mm full access raised floors
- Stunning full height atrium reception
- Internal and external amenity space
- Shower facilities
- 23 car spaces (ratio 1:228 sq ft)

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GROUND FLOOR

EAST: 5,316 sq ft (494 sq m) Available June 2026

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FURTHER INFORMATION

TERMS

The property is available to let on effectively full repairing and insuring lease terms direct with the landlord. Please contact the letting agents for further details.

EPC

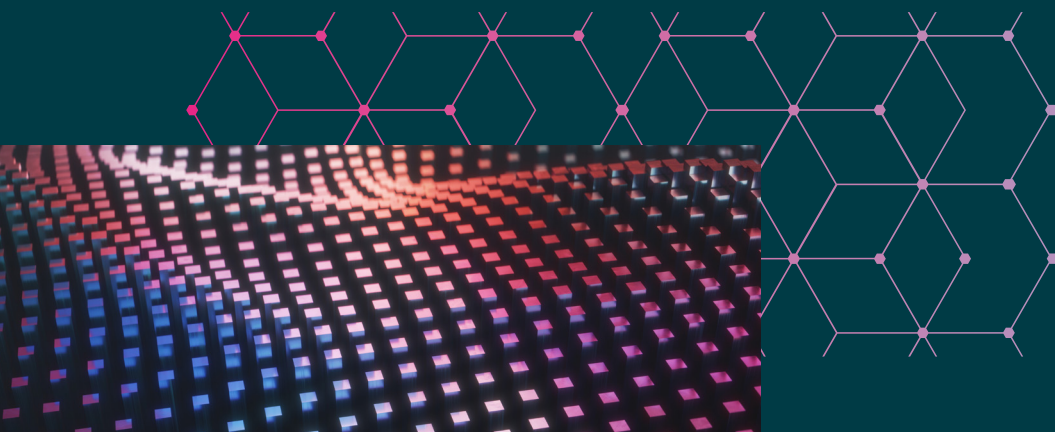
The Energy Performance Assessment rating:
Building 1020 C-63.
Please contact the letting agent for a copy.

LEGAL COSTS

Each party will be responsible for their own legal costs incurred in this transaction.

VAT

All figures quoted are exclusive of VAT.



CONTACTS

For enquiries, please contact:



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