

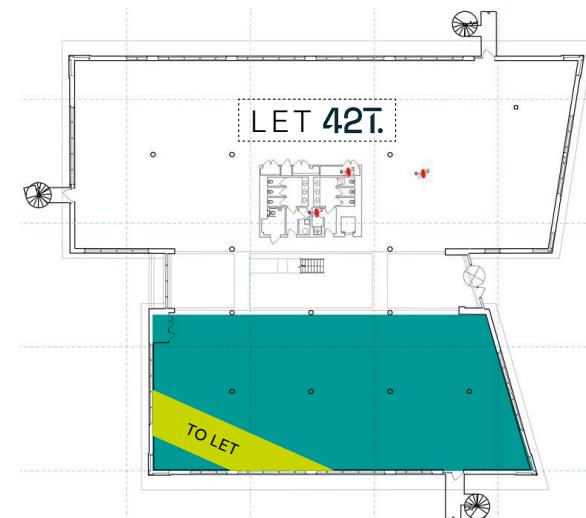
# BUILDING 1020

5,316 sq ft of Grade A office  
space available on ground floor



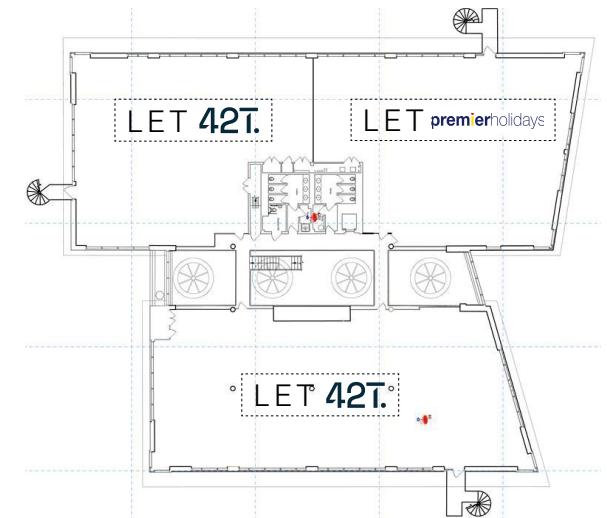
## SPECIFICATIONS

- Air conditioning throughout
- Suspended ceiling with recessed lighting
- 150mm full access raised floors
- Stunning full height atrium reception
- Internal and external amenity space
- Shower facilities
- 23 car spaces (ratio 1:228 sq ft)

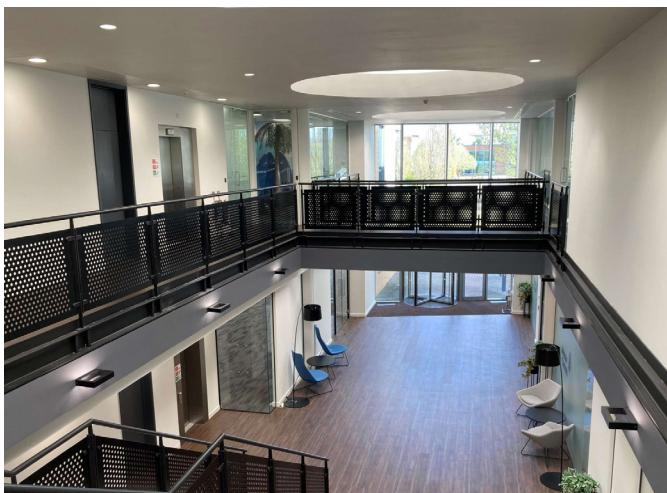


GROUND FLOOR

EAST: 5,316 sq ft (494 sq m) Available June 2026



# BUILDING 1020



## FURTHER INFORMATION

### TERMS

The property is available to let on effectively full repairing and insuring lease terms direct with the landlord. Please contact the letting agents for further details.

### EPC

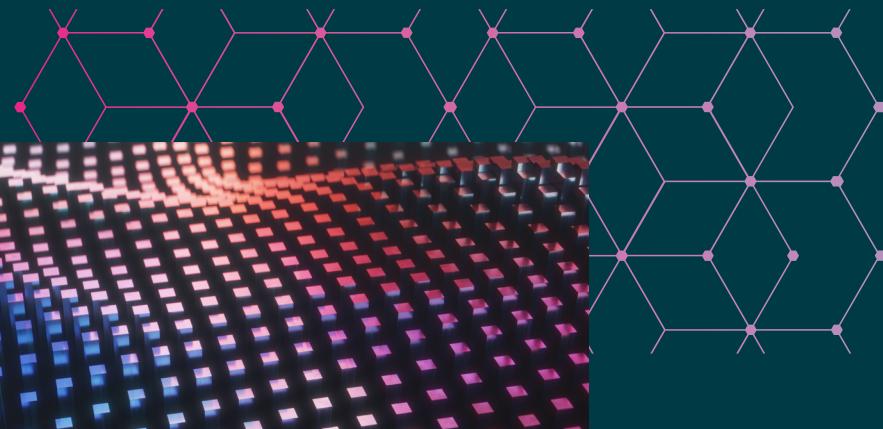
The Energy Performance Assessment rating:  
Building 1020 C-63.  
Please contact the letting agent for a copy.

### LEGAL COSTS

Each party will be responsible for their own legal costs incurred in this transaction.

### VAT

All figures quoted are exclusive of VAT.



## CONTACTS

For enquiries, please contact:



ROSS HEMMINGS  
T: +44 (0)7890 423 803  
E: [ross.hemmings@savills.com](mailto:ross.hemmings@savills.com)



MICHAEL JONES  
T: +44 (0)7879 497 141  
E: [michael.jones@cheffins.co.uk](mailto:michael.jones@cheffins.co.uk)



ALEX LOWDELL  
T: +44 7745 110201  
E: [alex.lowdell@ironstoneam.com](mailto:alex.lowdell@ironstoneam.com)

PHILLIP RIDOUTT  
T: +44 (0)7807 999 036  
E: [PRidoutt@savills.com](mailto:PRidoutt@savills.com)

LUKE DAVENPORT  
T: +44 (0)7912 656 575  
E: [luke.davenport@cheffins.co.uk](mailto:luke.davenport@cheffins.co.uk)

ALEX WILSHAW  
+44 07757 909 898  
alex.wilshaw@ironstoneam.com

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